

25 August 2011

Dear Councillor

DEVELOPMENT CONTROL COMMITTEE - TUESDAY, 6TH SEPTEMBER 2011

Please find enclosed location and layout plans for the planning applications, where applicable, that are to be considered at the above meeting of the Development Control Committee.

Agenda No Item

- a) 11/00484/COU - Heath Paddock Hut Lane, Heath Charnock, Chorley (Pages 1 - 6)
- b) 11/00053/FULMAJ - Land 200m South West of Whinney Cottage, 4 Whinney Lane, Euxton, Chorley (Pages 7 - 10)
- c) 11/00466/FUL - Go Ape, Rivington Lane, Rivington, Bolton (Pages 11 - 16)
- d) 11/00574/OUT - Balshaw Villa, Balshaw Lane, Euxton, Chorley (report enclosed)
(Pages 17 - 20)
- e) 11/00437/FUL - Matrix Dental Laboratory, 87 School Lane, Brinscall, (Pages 21 - 22)
- f) 11/00635/FUL - Golden Lion, 369 Blackburn Road, Higher Wheelton, Chorley (Pages 23 - 28)
- g) 11/00480/FULMAJ - Burrows (Grass Machinery) Ltd, Wigan Road, Clayton-le-Woods, Leyland (Pages 29 - 32)
- h) 11/00494/FULMAJ - Land between Froom Street/Crosse Hall Lane, Chorley (Pages 33 - 36)

Yours sincerely



Gary Hall
Chief Executive

Cathryn Filbin
Democratic and Member Services Officer
E-mail: cathryn.filbin@chorley.gov.uk
Tel: (01257) 515123
Fax: (01257) 515150

Distribution

1. Agenda and reports to all Members of the Development Control Committee.

This information can be made available to you in larger print or on audio tape, or translated into your own language. Please telephone 01257 515118 to access this service.

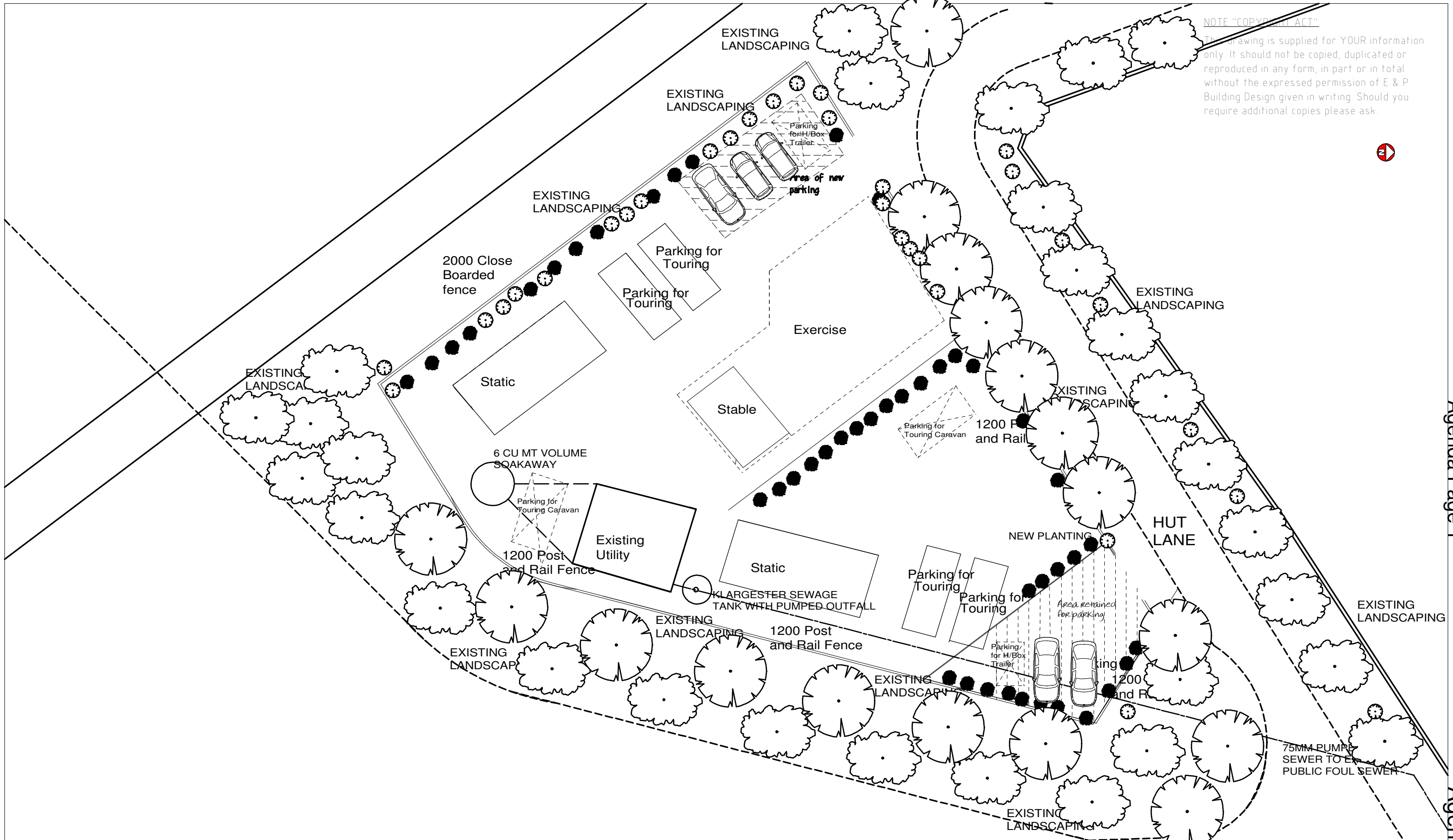
આ માહિતીનો અનુવાદ આપની પોતાની ભાષામાં કરી શકાય છે. આ સેવા સરળતાથી મેળવવા માટે કૃપા કરી, આ નંબર પર ફોન કરો: 01257 515822

ان معلومات کا ترجمہ آپکی اپنی زبان میں بھی کیا جاسکتا ہے۔ یہ خدمت استعمال کرنے کیلئے براہ مہربانی اس نمبر پر ٹیلیفون

01257 515823

کیجئے:

NOTE "COPYRIGHT ACT"
 This drawing is supplied for YOUR information only. It should not be copied, duplicated or reproduced in any form, in part or in total without the expressed permission of E & P Building Design given in writing. Should you require additional copies please ask.



DO NOT SCALE
 CHECK ALL DIMENSIONS ON SITE
 IF IN DOUBT, ASK SURVEYORS

ALL STRUCTURAL
 TIMBER TO BE STRESS
 GRADED AND
 PRESERVATIVE
 TREATED

INDICATIVE SITE LAYOUT.
 HEATH PADDOCK, HUT LANE, HEATH CHARDOCK, CHARLEY, PR6 9FP.

E & P Building Design

S A C Harrison MaPS, Tech IOSH.
 (Member of the RIBA and the RTP1.)

Architectural Services and Building Surveyors.
 Town Planning and Listed Building Consultants
 Project Safety Consultants and Risk Assessors
 Party Wall Surveyors - Project Managers.

THE GABLES, FIELD WALK, MILDENHALL, BURY ST EDMUNDS, SUFFOLK, IP28 7AH
 TELEPHONE 01638 717379. FAX 01638 714725.

MOBILE 07802 314538

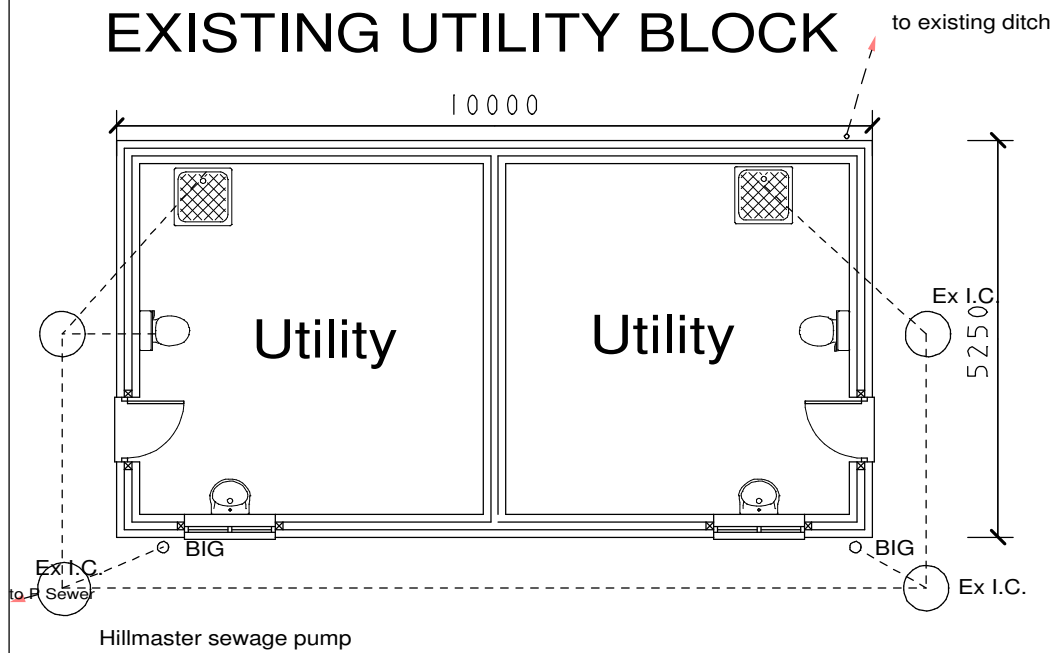
E-mail:- office@eandpbuildingdesign.co.uk

Web address:- eandpbuildingdesign.co.uk

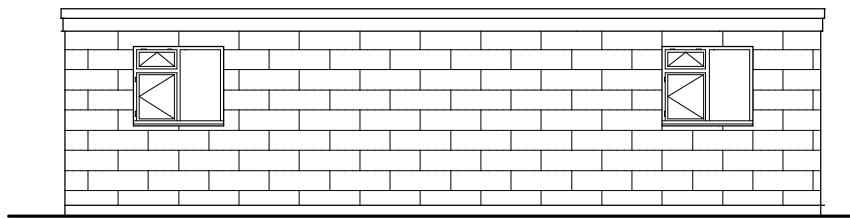
DRAWING NO 11 - 5051 - 01 REV A	DATE JUNE 2011	SCALE 1:200 AT A3
---------------------------------	----------------	-------------------

This page is intentionally left blank

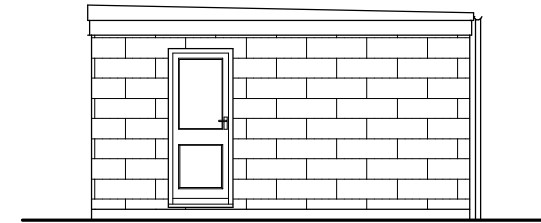
EXISTING UTILITY BLOCK



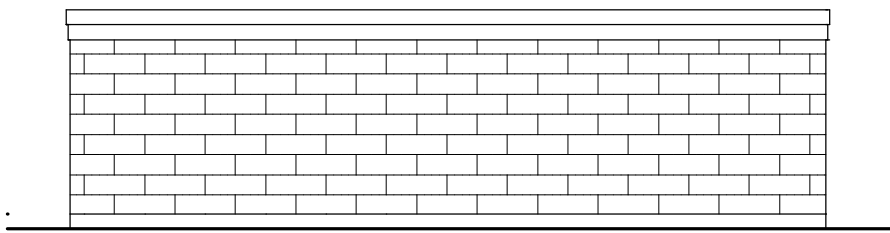
Floor Plan



Front Elevation



Side Elevation

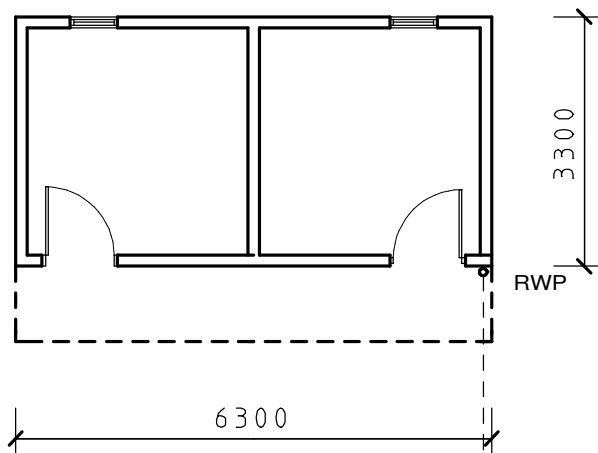


Rear Elevation

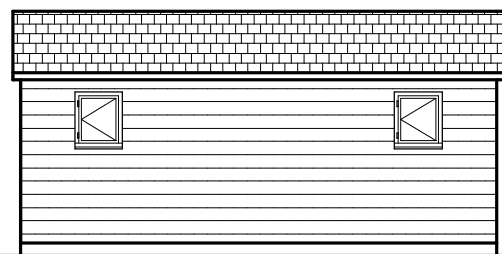
NOTE "COPYRIGHT ACT"

This drawing is supplied for YOUR information only. It should not be copied, duplicated or reproduced in any form, in part or in total without the expressed permission of E & P Building Design given in writing. Should you require additional copies please ask.

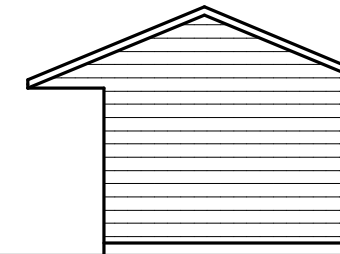
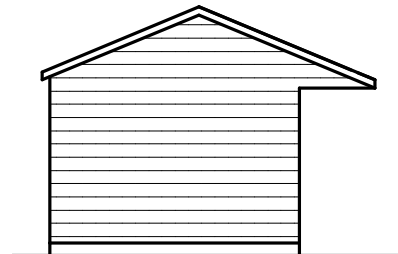
PROPOSED STABLE BLOCK



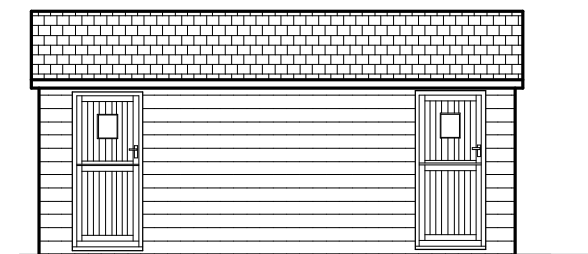
Floor Plan



Rear Elevation



Side Elevation



Front Elevation

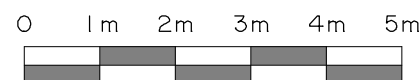
100 X 50 TIMBER FRAMING CLAD EXTERNALLY WITH FEATHER EDGED BOARDING STAINED LIGHT BROWN, WITH TILE EFFECT FELT ROOFING, AND 1000MM OVERHANG ROOF TO FRONT, ON 150 CONCRETE BASE FINISHED 10MM ABOVE GROUND LEVEL.

STANDARD STAINED TIMBER WINDOWS AND STABLE STYLE DOORS.

ALL EXTERNAL LIGHTING CONCEALED DOWN LIGHTS WITHIN ROOF OVERHANG.

DO NOT SCALE
CHECK ALL DIMENSIONS ON SITE
IF IN DOUBT, ASK SURVEYORS

1.5 cu mt soakaway 5 metres from buildings



ALL STRUCTURAL
TIMBER TO BE STRESS
GRADED AND
PRESERVATIVE
TREATED

EXISTING UTILITY BLOCK AND PROPOSED STABLE BLOCK
HEATH PADDOCK, HUT LANE, HEATH CHARNOCK, PR6 9FP

E & P Building Design

S A C Harrison MaPS, Tech IOSH.
(Member of the RIBA and the RTP1.)

THE GABLES, FIELD WALK, MILDENHALL, BURY ST EDMUNDS, SUFFOLK, IP28 7AH
TELEPHONE 01638 717379. FAX 01638 714725.

E-mail:- office@eandpbuildingdesign.co.uk

Architectural Services and Building Surveyors.
Town Planning and Listed Building Consultants
Project Safety Consultants and Risk Assessors
Party Wall Surveyors - Project Managers.

MOBILE 07802 314538

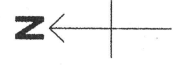
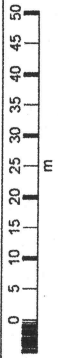
Web address:- eandpbuildingdesign.co.uk

DRAWING NO 11 - 5051-01 REV A

DATE 12TH JUNE 2011

SCALE 1:100

This page is intentionally left blank



OS Mastermap
 01 April 2011, ID: BW1-00066345
 maps.blackwell.co.uk

1:1250 scale print at A4, Centre: 360845E, 415539 N
 © Crown Copyright. Licence no. 100041040



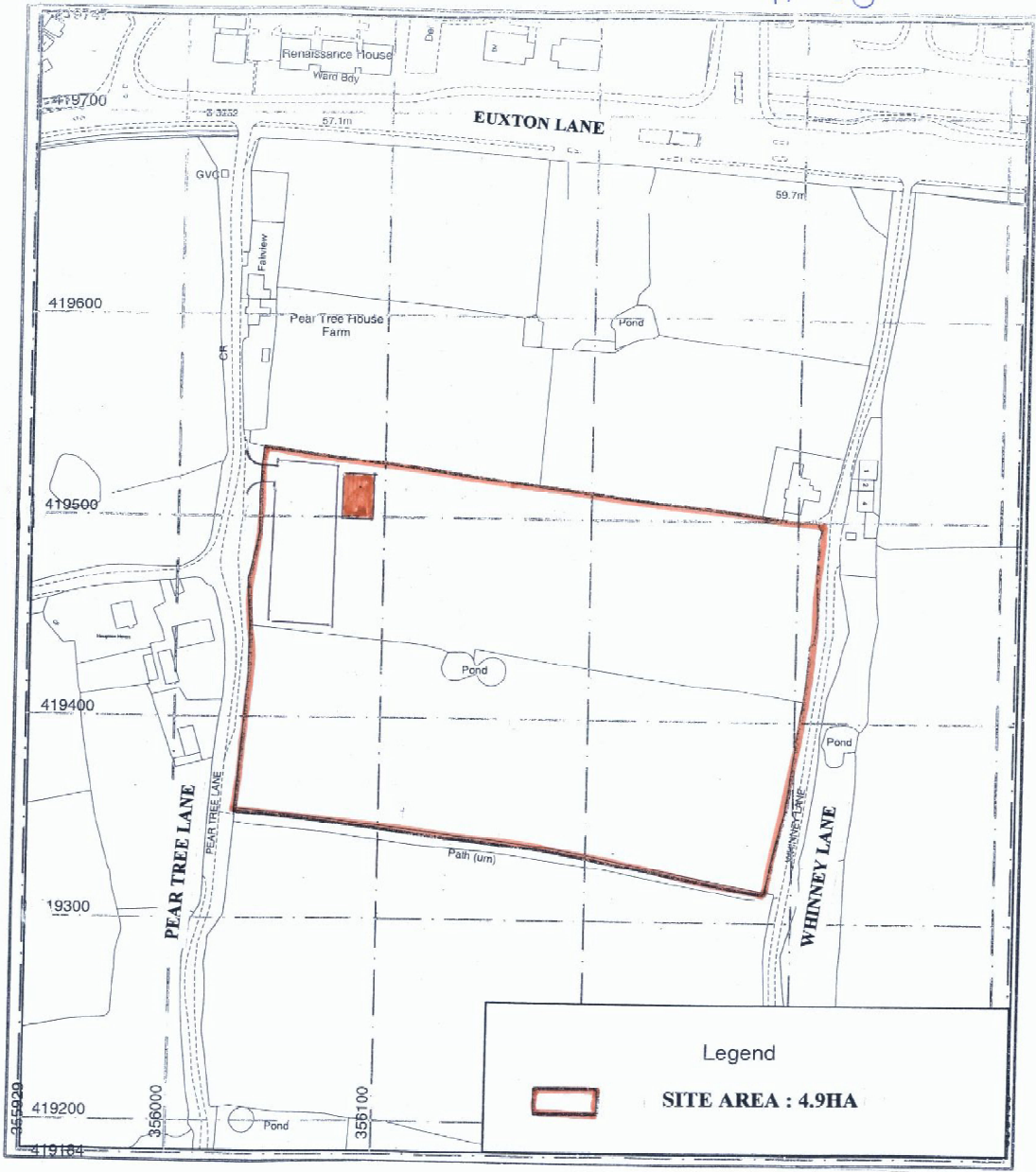
BLACKWELL'S
 www.blackwellmapping.co.uk
 TEL: 01223 568 417
 maps.cambridge@blackwell.co.uk

Agenda Item 4a

Agenda Page 5

This page is intentionally left blank

11 53



LOCATION PLAN

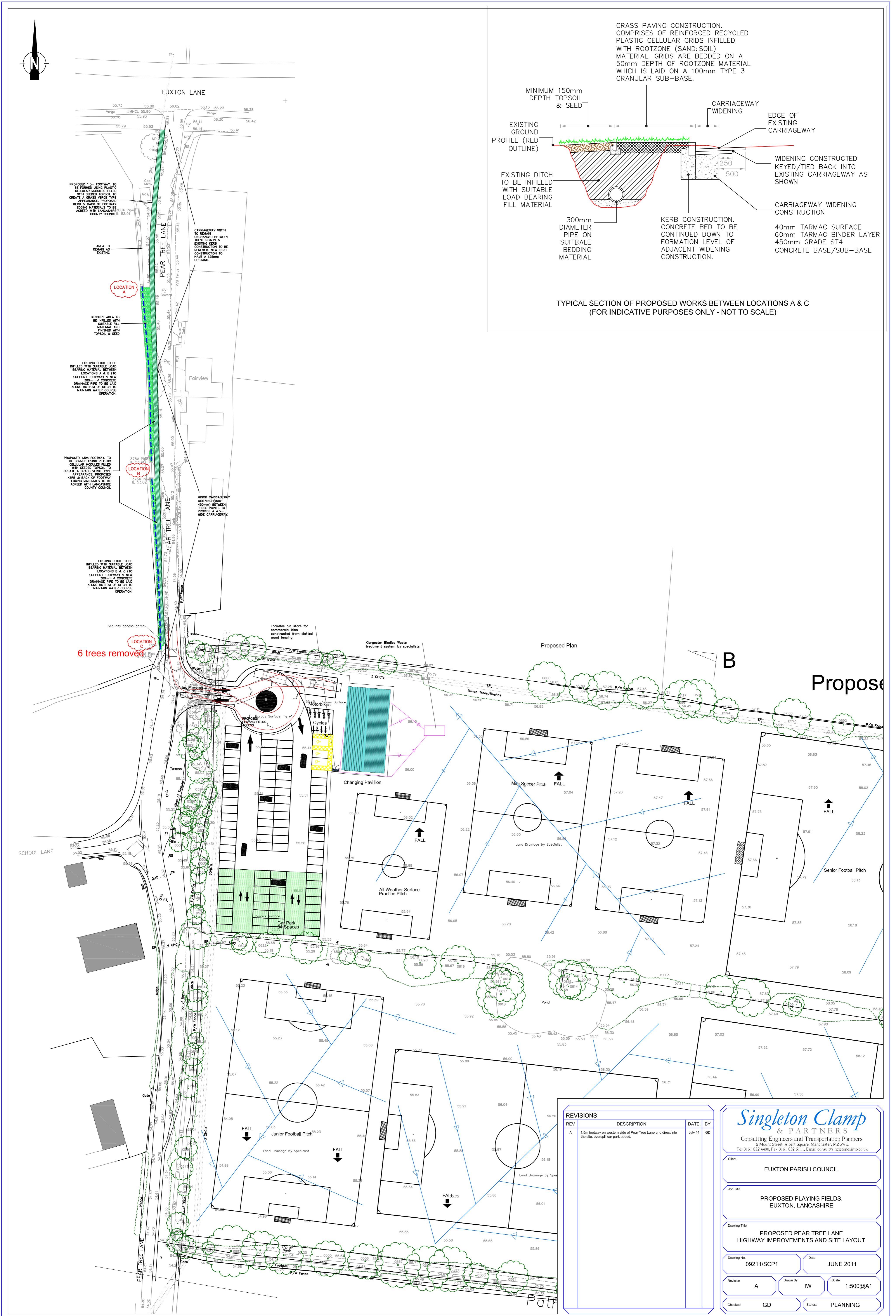
**PROPOSED PLAYING FIELDS, CHANGING PAVILION,
CAR PARK & ACCESS**

PEAR TREE LANE, EUXTON, CHORLEY



SCALE 1:2500

This page is intentionally left blank



REV	DESCRIPTION	DATE	BY
A	1.5m footway on western side of Pear Tree Lane and ditch into the site, overspill car park added.	July 11	GD

Singleton Clamp & PARTNERS
 Consulting Engineers and Transportation Planners
 2 Mount Street, Albert Square, Manchester, M2 0WQ
 Tel 0161 832 4400, Fax 0161 832 5111, Email consult@singletonclamp.co.uk

Client: **EUXTON PARISH COUNCIL**

Job Title: **PROPOSED PLAYING FIELDS, EUXTON, LANCASHIRE**

Drawing Title: **PROPOSED PEAR TREE LANE HIGHWAY IMPROVEMENTS AND SITE LAYOUT**

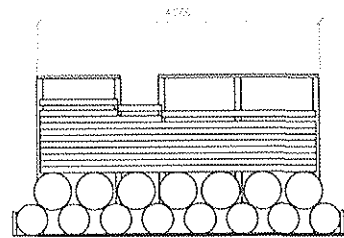
Drawing No: **09211/SCP1** Date: **JUNE 2011**

Revision: **A** Drawn By: **IW** Scale: **1:500@A1**

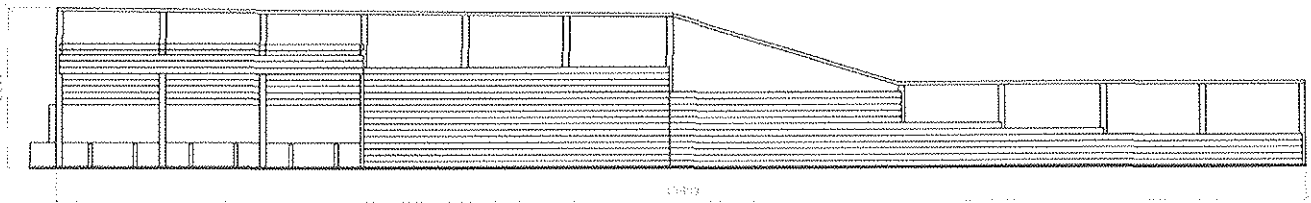
Checked: **GD** Status: **PLANNING**

This page is intentionally left blank

APPLICATION
11/00466/FULL



Site 2 Landing Zone North Elevation



Site 2 Landing Zone West Elevation

Go Ape -Rivington
Site 2 Landing Zone Elevations
Scale 1:75

LANDING SITE 2

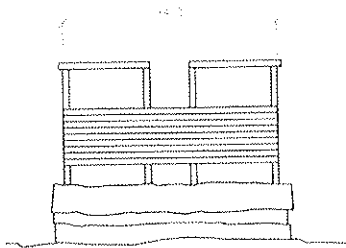
APPLICATION

11/00466/FUL

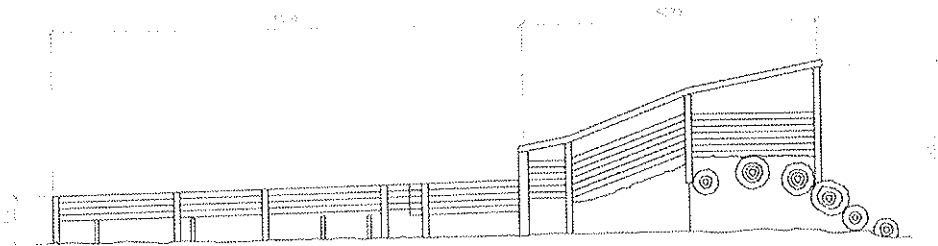


LANDING SITE 2

APPLICATION 11/00466/FUL



Site 3 Landing Zone South Elevation



Site 3 Landing Zone East Elevation

Go Ape -Rivington
Site 3 Landing Zone Elevations
Scale 1:75

LANDING SITE 3

APPLICATION

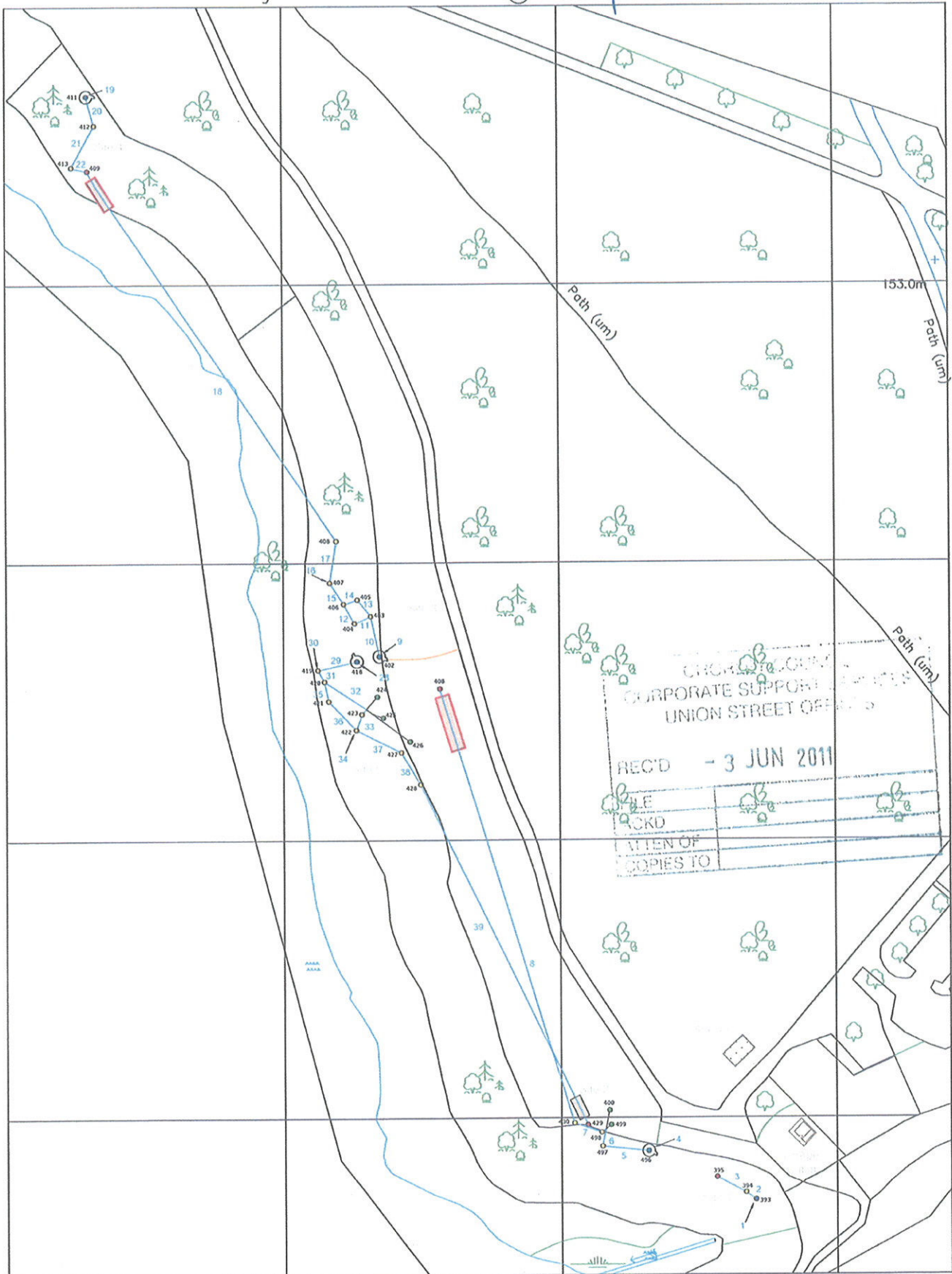
11/00466/KIL



LANDING SITE 3



11/466

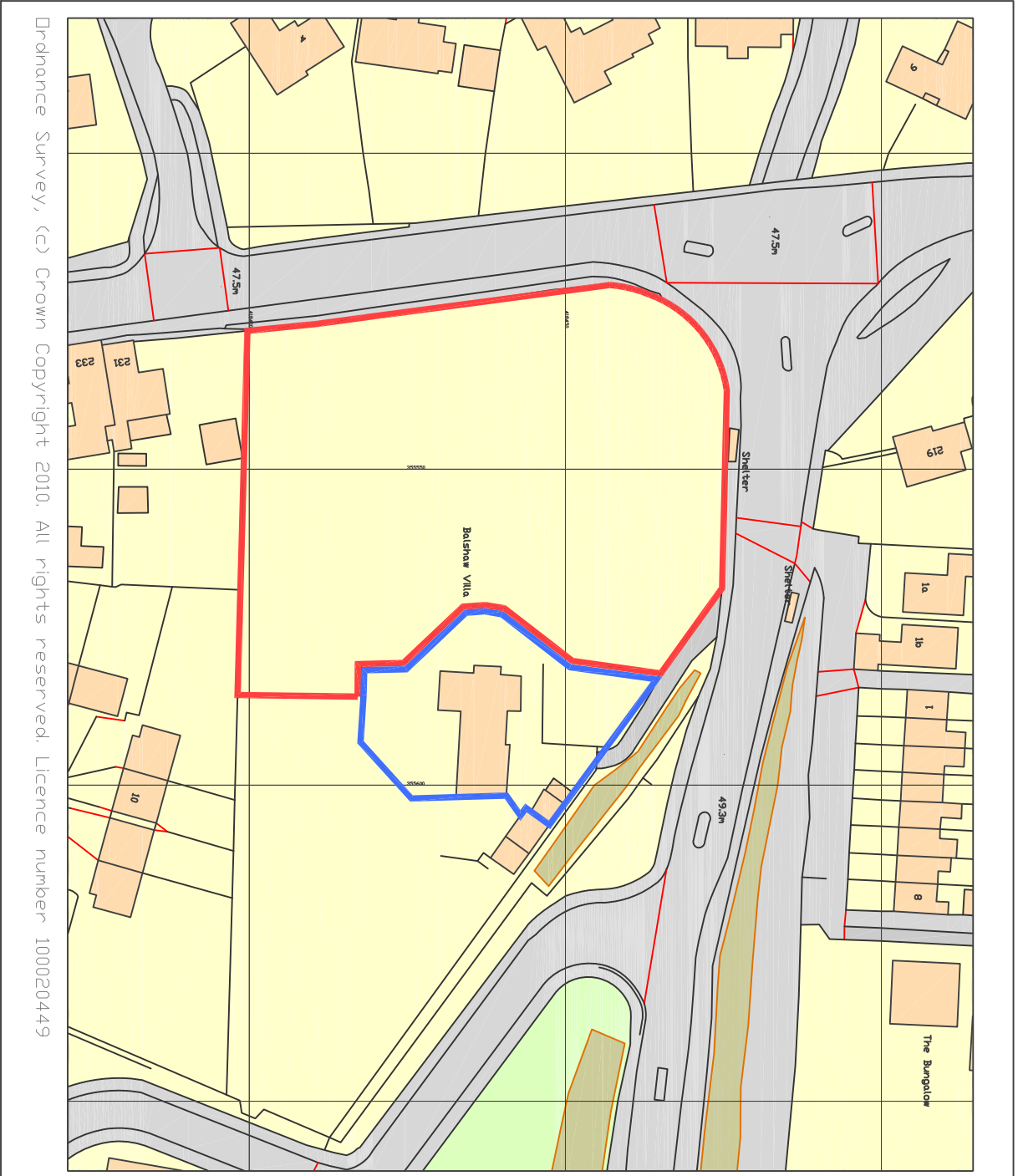


© Crown Copyright 2008
 Reproduction in whole or in part is prohibited
 without the prior permission of Ordnance Survey.
 Licence 100041040
 BW1-72371-14915-160511
 Print Date: 3rd June 2011

- 727 Tree number
- 25 Activity number
- Lockier Tree
- Crossing Tree
- Zip wire departure tree
- Bracing Tree (without platform)
- Stockade
- Course activity
- Supporting wires
- Zip wire arrival tree
- Trail / Road
- On Ape Footpath
- Planning Area
- Inductive Polyplus Anchor
- Zip wire landing zone (indicative dimensions)

Go Ape - Rivington
1:1250 Location Plan
Site 2 and 3 Landing Zones

This page is intentionally left blank



Ordnance Survey, (c) Crown Copyright 2010. All rights reserved. Licence number 100020449

Notes

Jennings Design Associates take no responsibility for any dimensions obtained by scaling from this drawing. If no dimension is shown the recipient must ascertain the dimension specifically from the Architect or by site measurement. Supplying the drawing in digital form is solely for the recipient's use. The recipient must ensure that the digital data must be checked against hard copy. Dimensions must be checked on site. Any discrepancies must be reported to the Architect immediately. This drawing is copyright of Jennings Design Associates



Rev	Description	Date	By
B	Site boundary Amended	23/06/2011	ST
A	Site boundary Amended Initial Issue	15/06/2011	ST
/			

Jennings Design Associates

Architects

Architects Designers Project Managers

The Warehouse, Saxon Street, Denton,
Manchester M34 3DS
T: 0161 336 5011 F: 0161 320 0512 E: jda@jda-architects.com

Stephen and Donna McCarthy

Balshaw Villa

Existing Site Plan

Drawing Number	Rev	Scale	Size	Date
648-OS	B	1:1,000	A4	14-6-11
	RH	As Issued		RH

Pr	Preliminary	C	Contract
F	Feasibility	Cn	Construction
P	Planning	As	As Built
T	Tender		

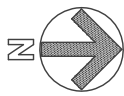


This page is intentionally left blank



Notes

Jennings Design Associates take no responsibility for any omissions or errors in this drawing. The client is responsible for ensuring that the recipient must ascertain the dimension specifically from the Architect or by site measurement. Supplying the drawing in digital form is solely for convenience and no reliance may be placed on digital data. All dimensions are given in millimetres unless otherwise stated. All dimensions checked on site. Any discrepancies must be reported to the Architect immediately. The drawing is copyright of Jennings Design Associates.



Schedule of accommodation

Site Area 0.54 Hectares

Rev	Description	Date	By
D	Amendment to Site Boundary	23-04-11	ST
C	House Footprint and Layout Amended	22-04-11	ST
B	Landscaping amended	02-11-10	ST
A	Landscaping and dwellings amended	29-10-10	RH

Jennings Design Associates
Architects

Architects Designers Project Managers
The Warehouse, Saxon Street, Denton,
Manchester M34 3DS
T: 0161 334 5011 F: 0161 320 0512 E: jda@jda-architects.com

Steve McCarthy

Balshaw Villa, Chorley

Proposed Site Plan

Drawing Number	Rev	Scale	Date
E112-SK01	D	1:500	21-10-10
	TH	As	RH

Pr	P	T	C	Contract
				As Built
				As Built
				As Built
				As Built

Scale 1:500

This page is intentionally left blank



Site Location Plan
Scale 1:1250

NOTES

This drawing is the copyright of Into Architecture Limited and no reproduction is allowed without prior permission.

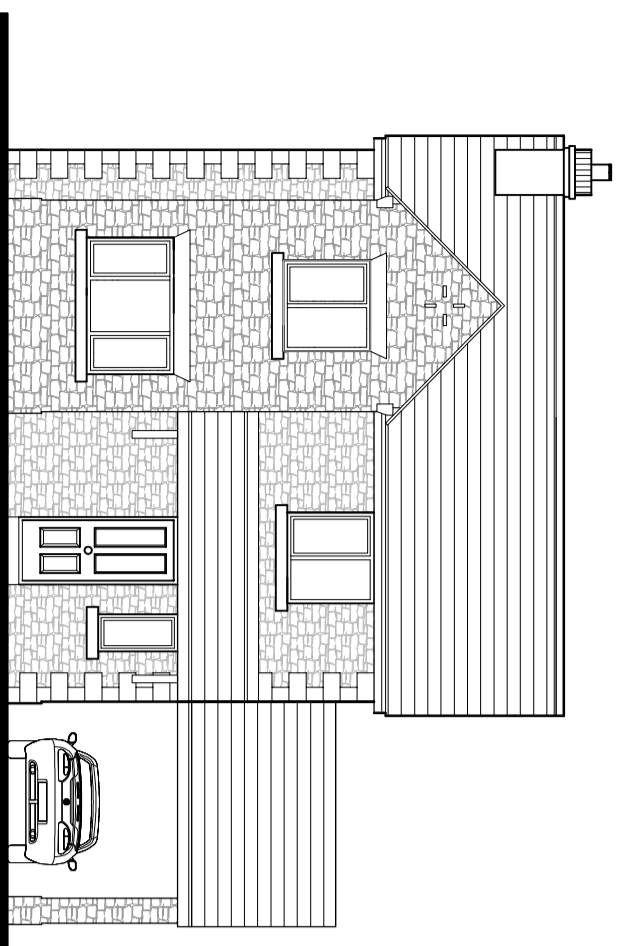
This drawing has been produced as a Planning Document only, and does not constitute a full working drawing.

All drawings must be checked and verified prior to commencement of work on site. All dimensions are to be checked on site prior to carrying out work and/or ordering of materials.

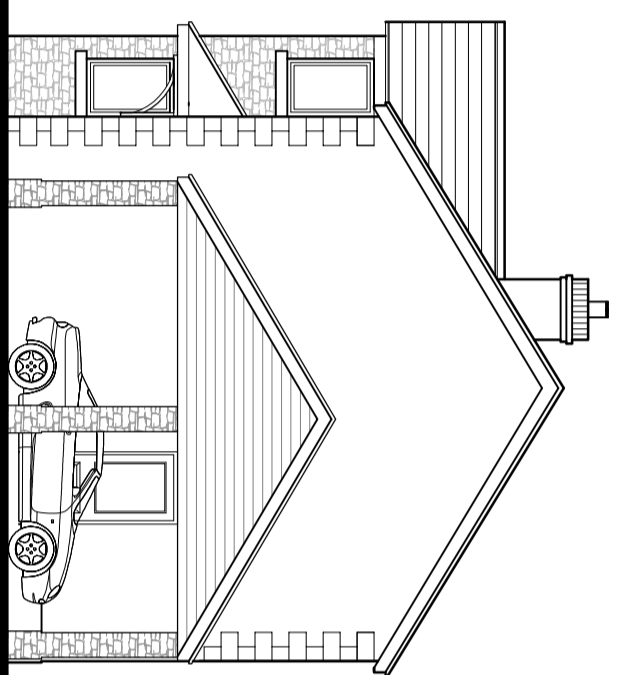
DO NOT SCALE FROM THIS DRAWING.

This page is intentionally left blank

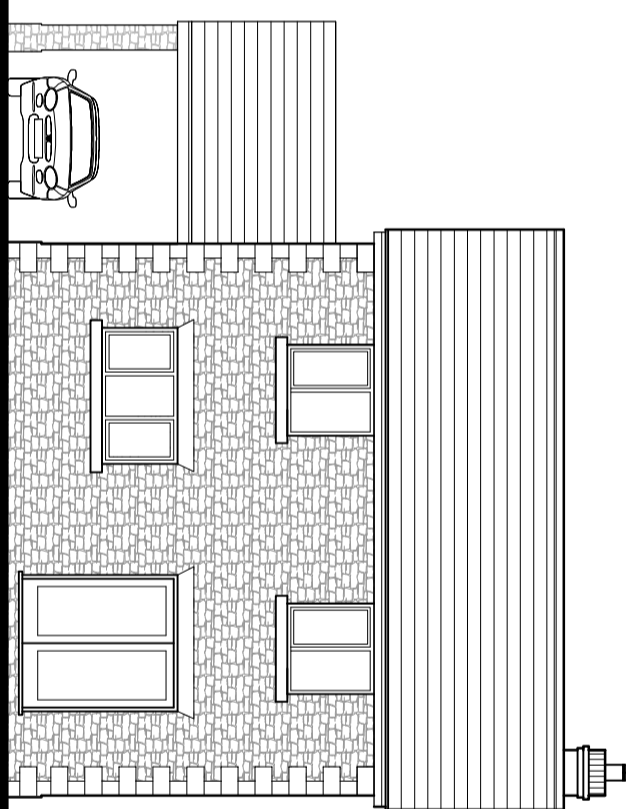
The copyright of this drawing and design is vested in the Architect and must not be copied or
reproduced in any form. All dimensions given are to be verified on site by the contractor.
This drawing must not be sold.



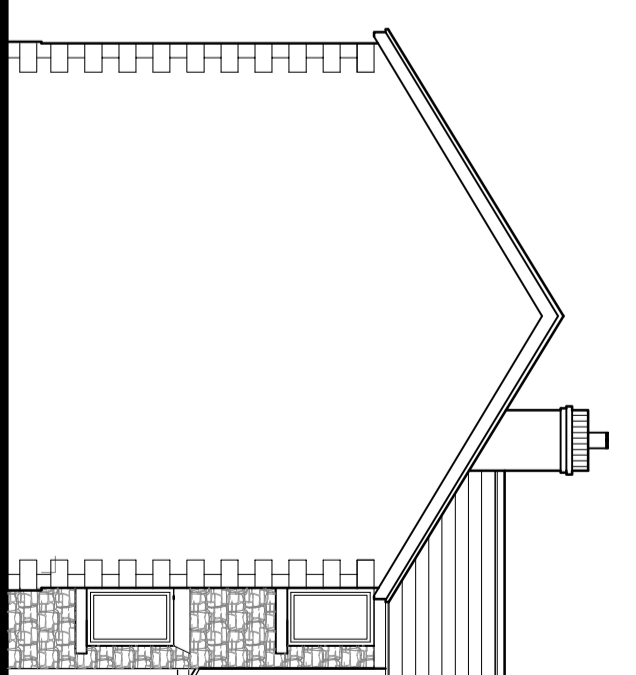
Front Elevation 1:100



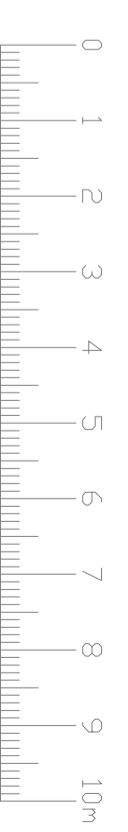
Side Elevation 1:100



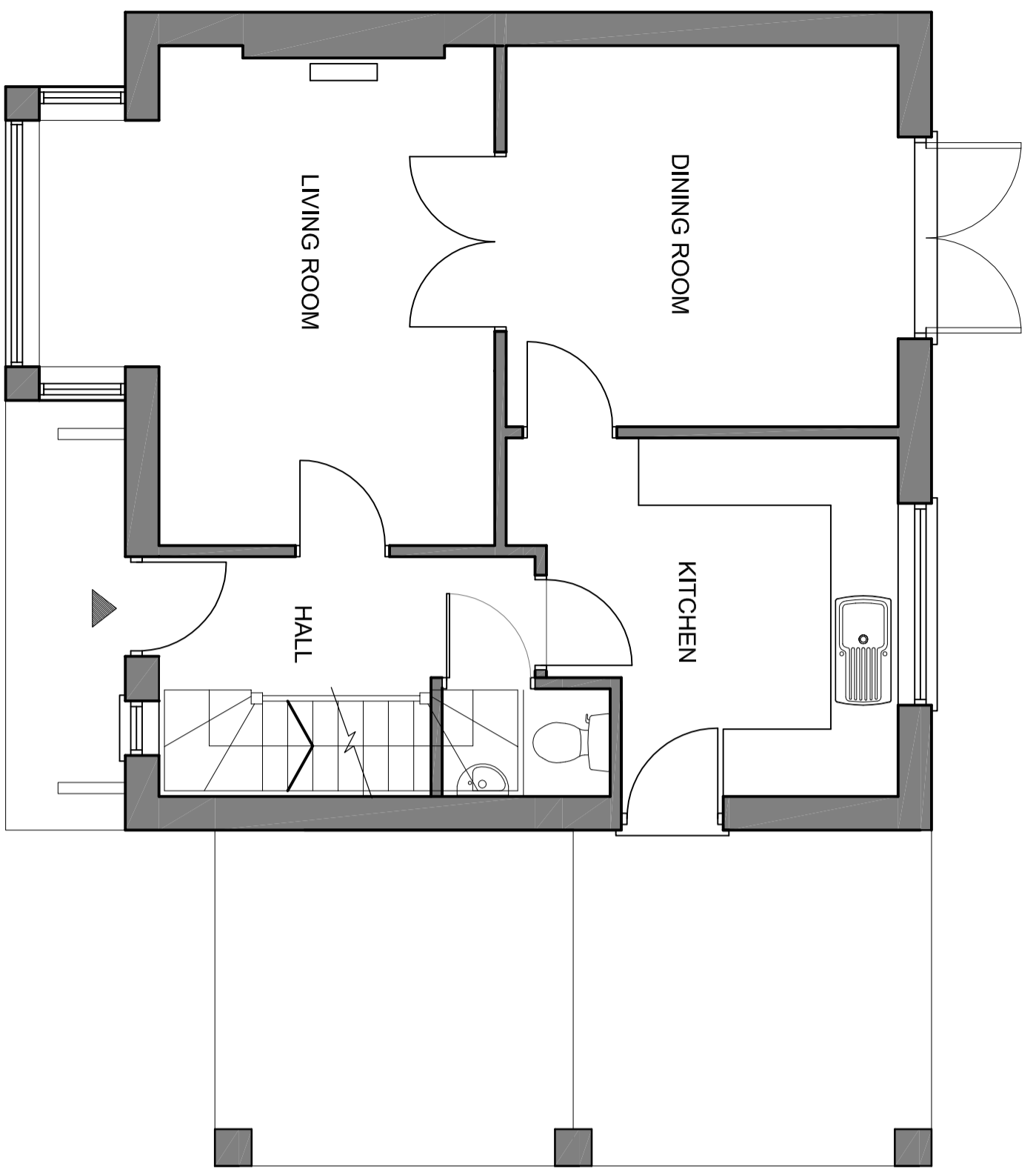
Rear Elevation 1:100



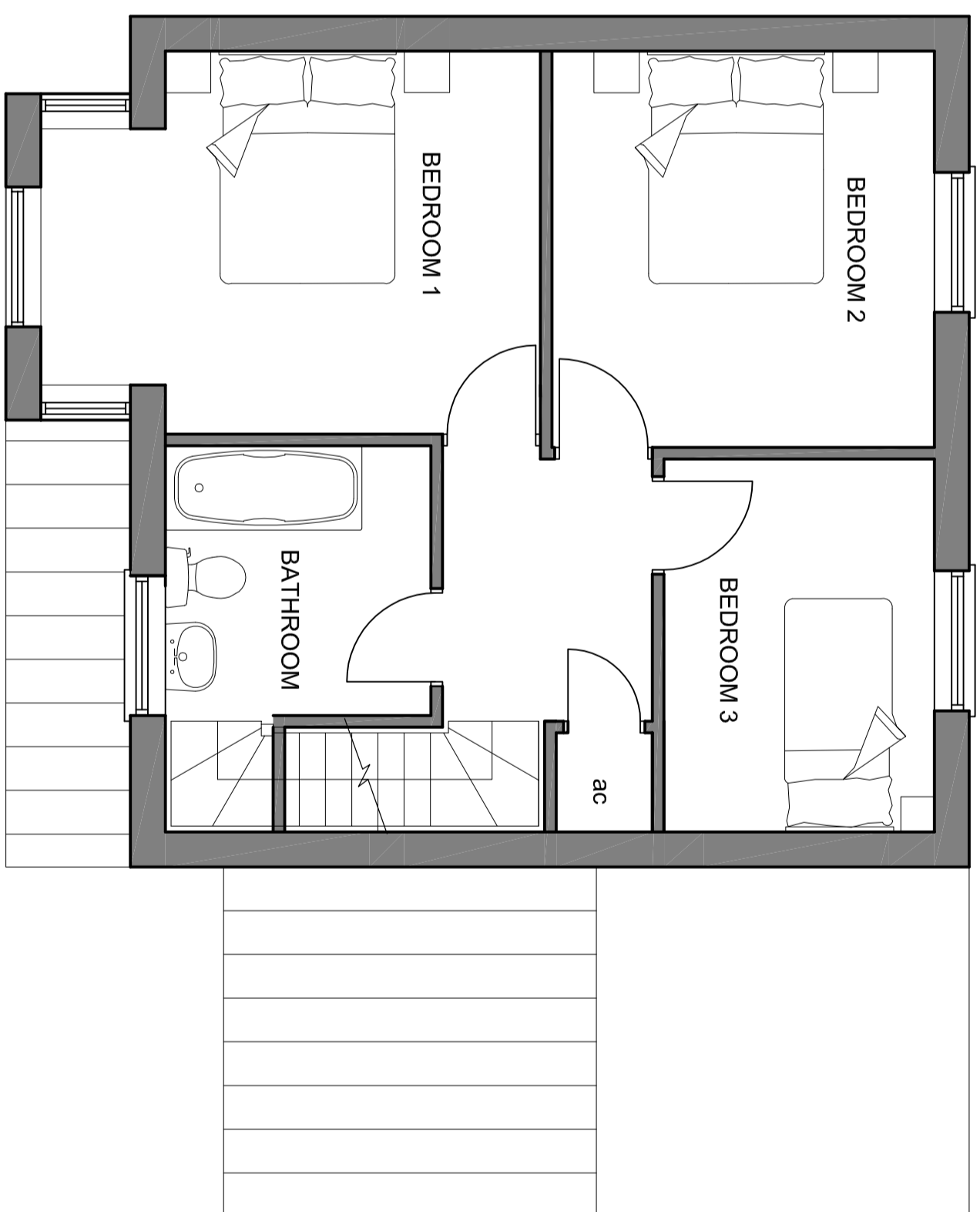
Side Elevation 1:100



LINEAR SCALE 1:100



Ground Floor plan 1:50



First Floor plan 1:50

C	Stone / quoin details revised	slt	04.06.11
B	Elevations treatment revised	lp	04.01.11
A	Bedroom and carport removed	lp	03.11.10
Rev	Details	Alt.	Date/Chk

CLIENT
THWAITES BREWERY

PROJECT
**PROPOSED HOUSING
LAND ADJACENT THE GOLDEN LION PH
BLACKBURN ROAD, HIGHER
WHEELTON**

DRAWING NUMBER
09/1261-03

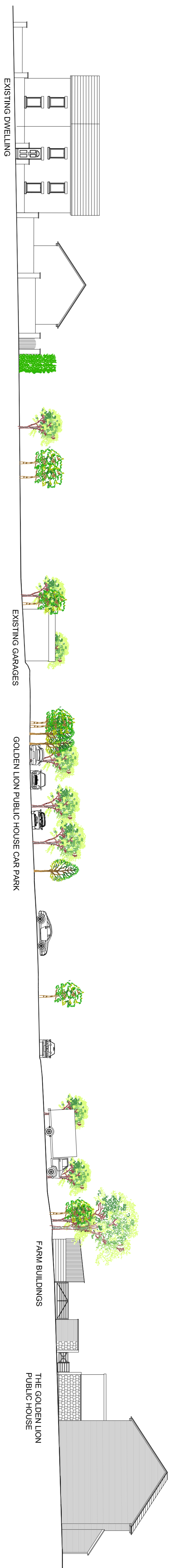
DATE	11 JAN 11
CHECKED BY	SLT
DRAWN BY	C



mtc
planning and design ltd
architects town planners building surveyors

Barn St, Sutton Hill Farm
Sutton Maddock
Shropshire
TF11 9NG
Tel: 01952 720683 / 720682
Fax: 01952 720626

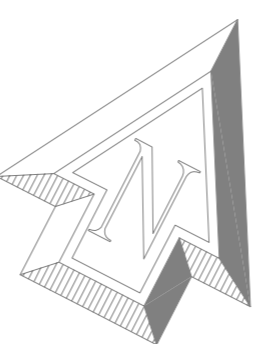
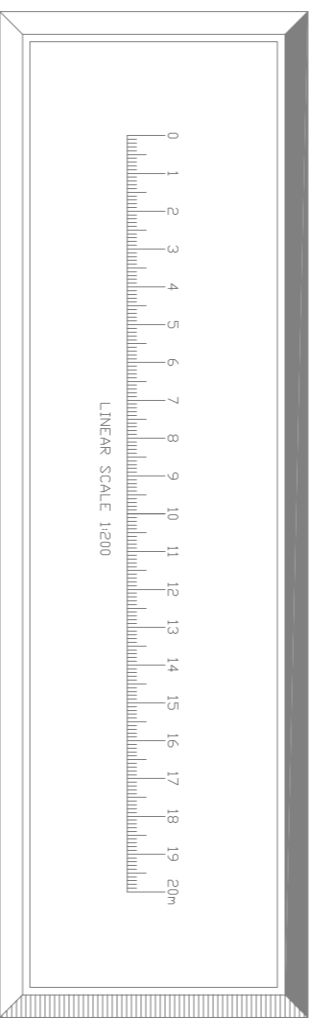
This page is intentionally left blank



Existing Elevation from Street 1:200



Proposed Elevation from Street 1:200



Rev	Details	Alt	Date
D	Revision to spatial separation of plot 2 - no 6	st	23.08.11
C	Revision to 2 no. PLOs and PH Carparking	st	04.06.11
B	Footway indicated adjacent to dwellings and carpark	lp	12.12.10
A	Bedroom and carport removed, dwellings relocated. Parking revised.	lp	03.11.10
Rev	Details	Alt	Date/Clk

CLIENT
THWAITES BREWERY

PROJECT
PROPOSED HOUSING LAND ADJACENT THE GOLDEN LION PH BLACKBURN ROAD, HIGHER WHEELLTON

DRAWING
PROPOSED STREET ELEVATION AND SITE PLAN

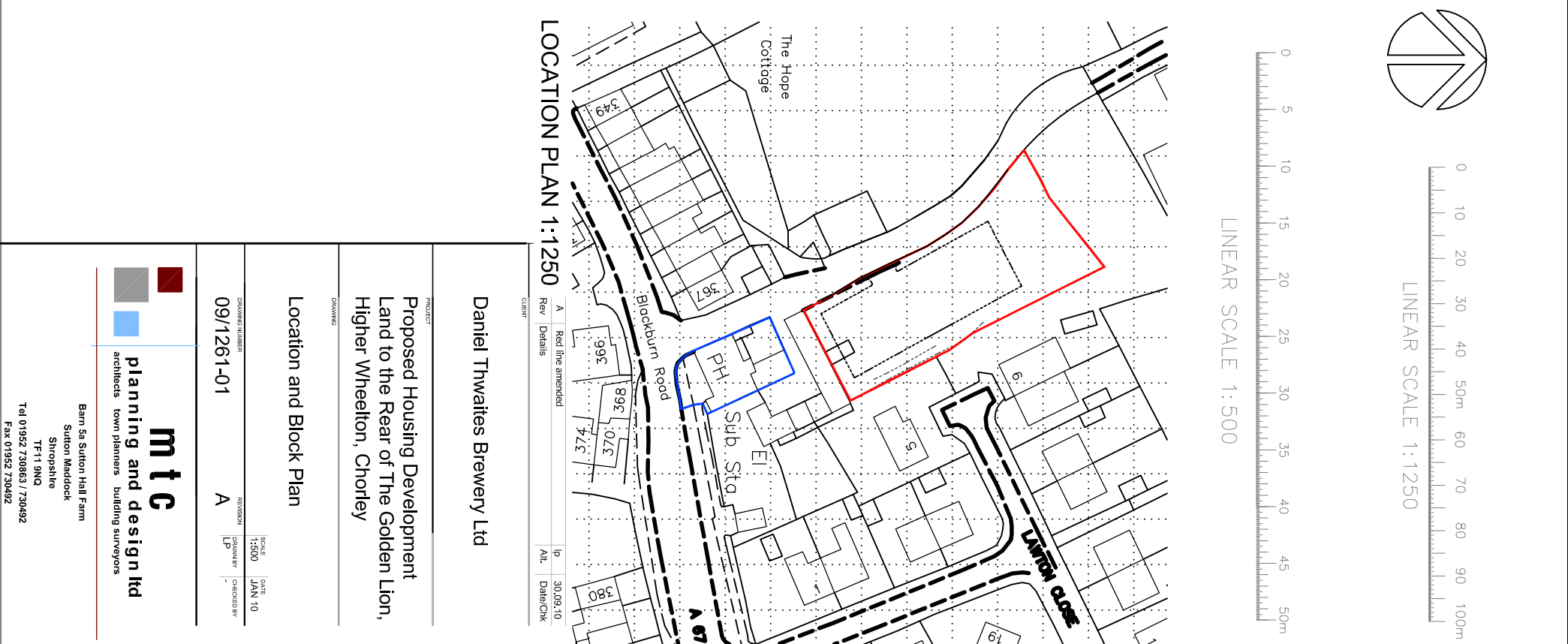
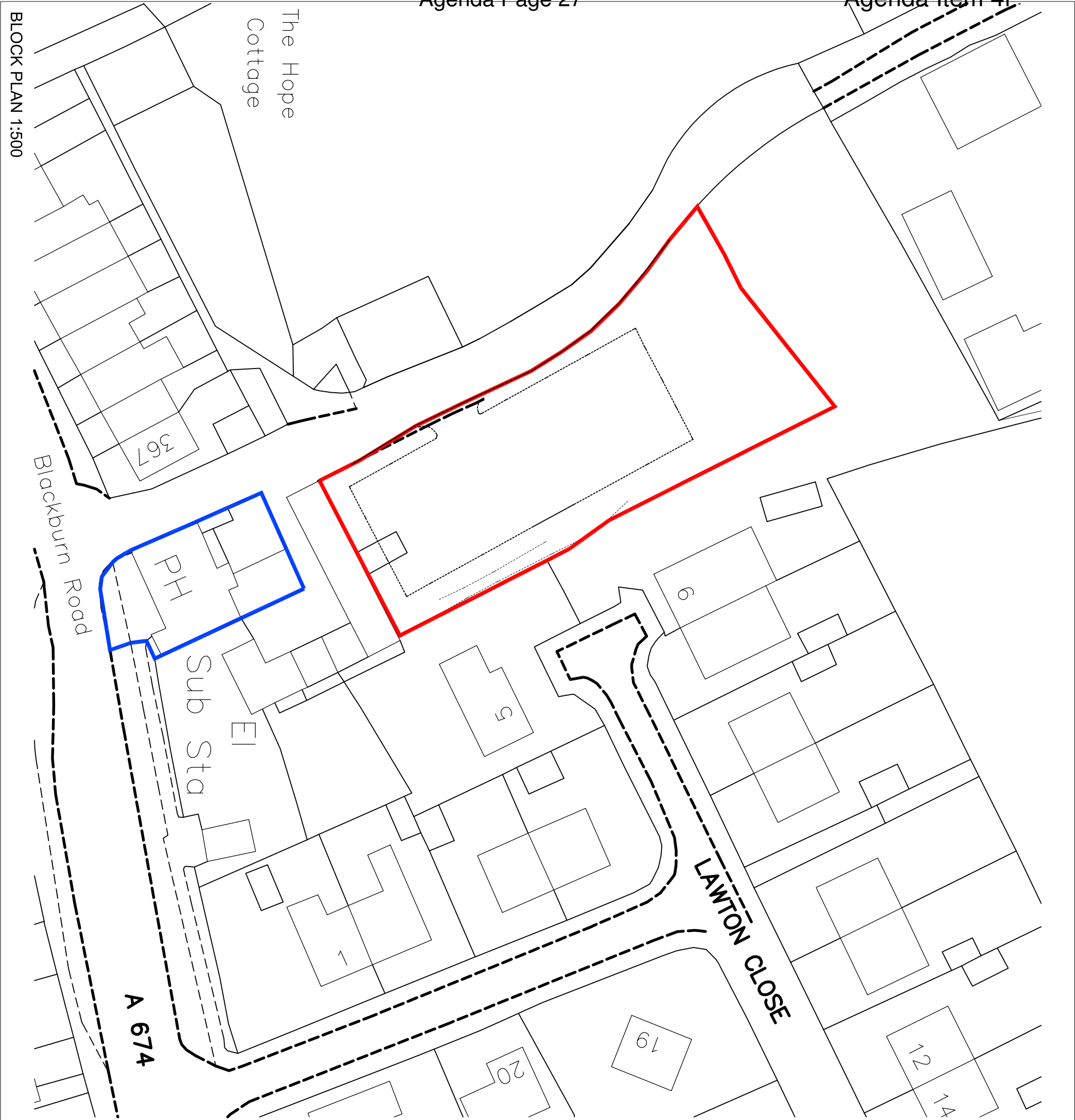
DRAWING NUMBER	REVISION	SCALE	DATE
09/1261-02	D	1:200	June 11
		DRAWN BY	CHECKED BY



Burn, St. Simon Hill Farm
Simon Beckwith
Shropshire
TF11 9ND
Tel 01952 720861 / 720462
Fax 01952 720462

The copyright of this drawing and design is vested in the Architect and must not be copied or reproduced in any form. All dimensions given are to be verified on site by the contractor. This drawing must not be scaled.

This page is intentionally left blank



LOCATION PLAN 1:1250

REV	DATE	BY	CHKD
A	30.09.10	ALT	DAL/CHK
Red line amended			
Details			

Daniel Thwaites Brewery Ltd

Proposed Housing Development
Land to the Rear of The Golden Lion,
Higher Wheulton, Chorley

Location and Block Plan

NO	DATE	BY	CHKD
09/1261-01	JAN 10	A	IP
DRAWING NUMBER			
SCALE 1:500			
DRAWN BY			
CHECKED BY			



Barn 5a Sutton Hill Farm
Sutton Maddock
Shropshire
TF11 9NQ
Tel 01952 730863 / 730492
Fax 01952 738492

BLOCK PLAN 1:500

This page is intentionally left blank

scale 1:12'

11/4/80 furrow

buildings to be demolished shown hatched.

Wigan Road

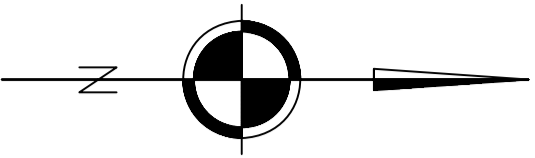
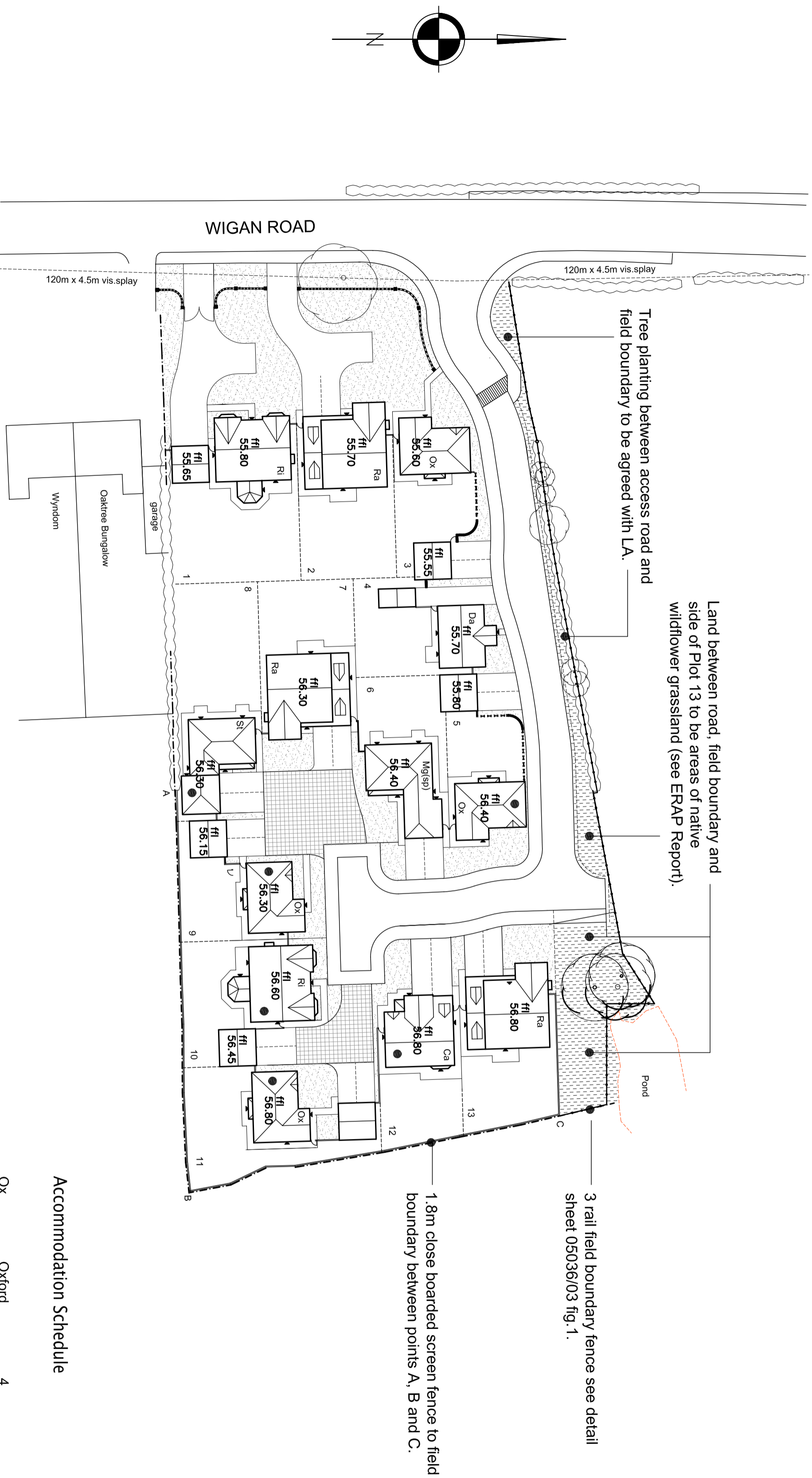
G.D.H. Thornthorpe Garage

North Lake

Site Location Plan



This page is intentionally left blank



Accommodation Schedule

Ox	Oxford	4
Ca	Cambridge	1
Ri	Richmond	2
Ra	Raleigh	3
Mg	Montgomery	1
Da	Davy	1
St	Stephenson	1
Total		13

Key:

- Screen fence (see detail sheet dwg no. 05036.05)
- 1.8m close boarded screen fence (see detail sheet dwg no. 05036.01 fig 1)
- 215mm brick screen wall
- Brickwork piers with dwarf wall and metal railings. (see detail sheet dwg no. 05036.21)
- Brickwork piers with dwarf wall and close boarded screen fence infill panels. (see detail sheet dwg no. 05036.20)
- Brickwork piers with entrance gates. (see detail sheet dwg no. 05036.22)
- Indicates opposite hand to working drawing
- Trees to be retained.
- Existing buildings to be demolished
- Shared drive areas

Rev	Date	Revision
G	9.8.11	Highway amendments.
F	2.8.11	Driveway to plot 4 lengthened to 11.5m.
E	2.8.11	Plots 9, 10 & 11 moved forward, Plot 8 Wg to St.
D	2.8.11	Proposed floor levels added
C	1.8.11	Planning Comments added
B	21.07.11	Highways comments endorsed.
A	09.06.11	Existing buildings to be demolished indicated and adjacent properties shown

WAINHOMES

Cedarwood 2, Kelvin Close,
Birtwood, Warrington,
WAS 7PB

grosvenor
architectural design

Duxbury Court, 42A Preston Road
Standish, Wigan WN6 0HS

Tel : 01257 473638
Web : www.GrosvenorArchitectural.co.uk
E.Mail : enquiries@GrosvenorArchitectural.co.uk

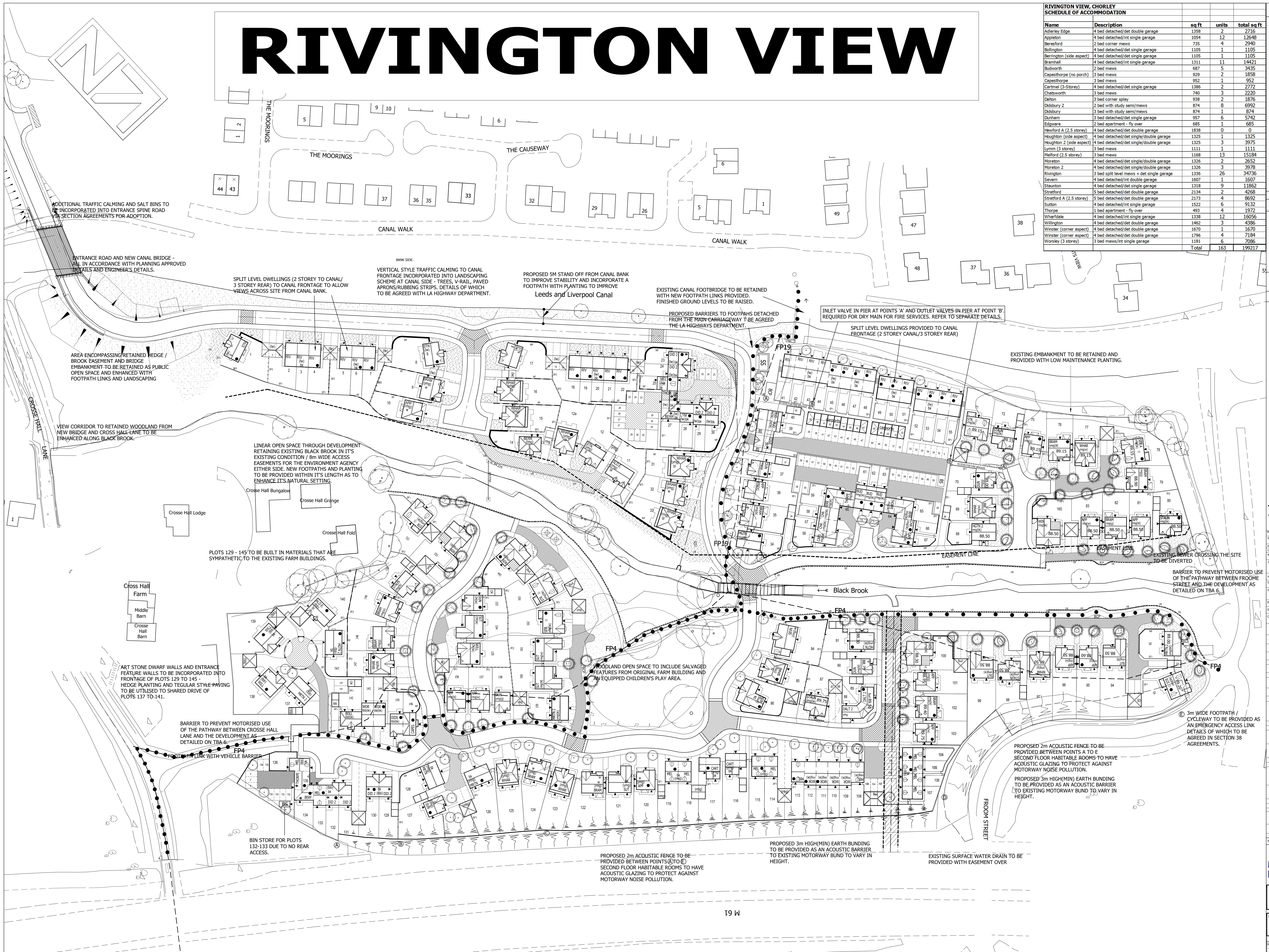
Wigan Road, Clayton le Woods.

Planning Layout

Scale	Date	Ref	Drawn
1:500	MAY 2011	072.01.47	G.A.D.
Dwg No	072.01.55.P01		Rev
			G

This page is intentionally left blank

RIVINGTON VIEW



Name	Description	sq ft	units	total sq ft
Adlerley Edge	4 bed detached/det double garage	1358	2	2716
Appleton	4 bed detached/int single garage	1054	12	12648
Beresford	2 bed corner mews	735	4	2940
Bollington	4 bed detached/det single garage	1105	1	1105
Berrington (side aspect)	4 bed detached/det single garage	1105	1	1105
Bramhall	4 bed detached/int single garage	1311	11	14421
Budworth	2 bed mews	687	5	3435
Capehorpe (no porch)	3 bed mews	929	2	1858
Capehorpe	3 bed mews	952	1	952
Carmel (3-Storey)	4 bed detached/det single garage	1386	2	2772
Chatsworth	3 bed mews	740	3	2220
Dalton	3 bed corner splay	938	2	1876
Didsbury 2	2 bed with study semi/mews	874	8	6992
Didsbury	3 bed with study semi/mews	874	1	874
Dunham	3 bed detached/det single garage	957	6	5742
Edgeware	2 bed apartment - fly over	685	1	685
Newford A (2.5 storey)	4 bed detached/det double garage	1838	0	0
Houghton (side aspect)	4 bed detached/det single/double garage	1325	1	1325
Houghton 2 (side aspect)	4 bed detached/det single/double garage	1325	3	3975
Lymm (3 storey)	3 bed mews	1111	1	1111
Melford (2.5 storey)	3 bed mews	1168	13	15184
Moreton	4 bed detached/det single/double garage	1326	2	2652
Moreton 2	4 bed detached/det single/double garage	1326	3	3978
Rivington	3 bed split level mews + det single garage	1336	26	34736
Severn	4 bed detached/int double garage	1607	1	1607
Staurton	4 bed detached/det single garage	1318	9	11862
Stretford	5 bed detached/det double garage	2134	2	4268
Stretford A (2.5 storey)	4 bed detached/det double garage	2173	4	8692
Sutton	4 bed detached/int single garage	1522	6	9132
Thorp	1 bed apartment - fly over	493	4	1972
Wharfedale	4 bed detached/int single garage	1338	12	16056
Willington	4 bed detached/det double garage	1462	3	4386
Winstar (corner aspect)	4 bed detached/det double garage	1670	1	1670
Winstar (corner aspect)	4 bed detached/det double garage	1796	4	7184
Worsley (3 storey)	3 bed mews/int single garage	1181	6	7086
Total		163		199217

Key	Main Brick	Roof Tile
(lw)	Itstock Lancashire Weather	Smooth Grey
(rmg)	New Baggeridge Red Multi Gilt	Smooth Grey
(ymg)	New Baggeridge Yellow Multi Gilt	Smooth Grey
(as)	Tudorstone Art stone	Smooth Grey

- TRADITIONAL MATERIALS SCHEDULE**
- Front door colours:
g:greyen bk:black w:white b:blue
- LEGEND**
- Proposed dwelling
 - Proposed dwelling to be built opposite hand
 - Denotes units that meet Low Cost Housing specification, (ie below 85 square metres in size)
 - Proposed brick built garage
 - Common areas of shared drives in red chequered pattern to differentiate
 - Proposed 1.8m high/0.44m square brick piers at 2.0m c/c's with 0.5m high brick dwarf wall/feather edged boarded infill panels
 - Proposed 1.8m high feather edge boarded timber screen fence with P.C.C. posts & gravel boards
 - Proposed 1.2m high feather edge boarded timber screen fence
 - Indicates retaining wall below fence type, to highest adjacent level
 - Proposed 0.45m high timber post & rail divisional fence
 - Proposed 0.45m high timber V-rail fence
 - Proposed 1.2m high Cheesie Railings
 - Proposed dwarf wall with timber infill panels
 - Existing hedge to be retained
 - Existing hedge to be removed
 - Existing tree to be retained
 - Existing tree to be removed
 - Existing public footpath undiverted
 - Proposed diverted route of existing public footpath
 - BCP Bin Collection Point
 - BS Bin Storage

- AA: 100% of plots 129-145 to be built in materials that are sympathetic to the existing farm buildings.
- BB: 100% of plots 129-145 to be built in materials that are sympathetic to the existing farm buildings.
- CC: 100% of plots 129-145 to be built in materials that are sympathetic to the existing farm buildings.
- DD: 100% of plots 129-145 to be built in materials that are sympathetic to the existing farm buildings.
- EE: 100% of plots 129-145 to be built in materials that are sympathetic to the existing farm buildings.
- FF: 100% of plots 129-145 to be built in materials that are sympathetic to the existing farm buildings.
- GG: 100% of plots 129-145 to be built in materials that are sympathetic to the existing farm buildings.
- HH: 100% of plots 129-145 to be built in materials that are sympathetic to the existing farm buildings.

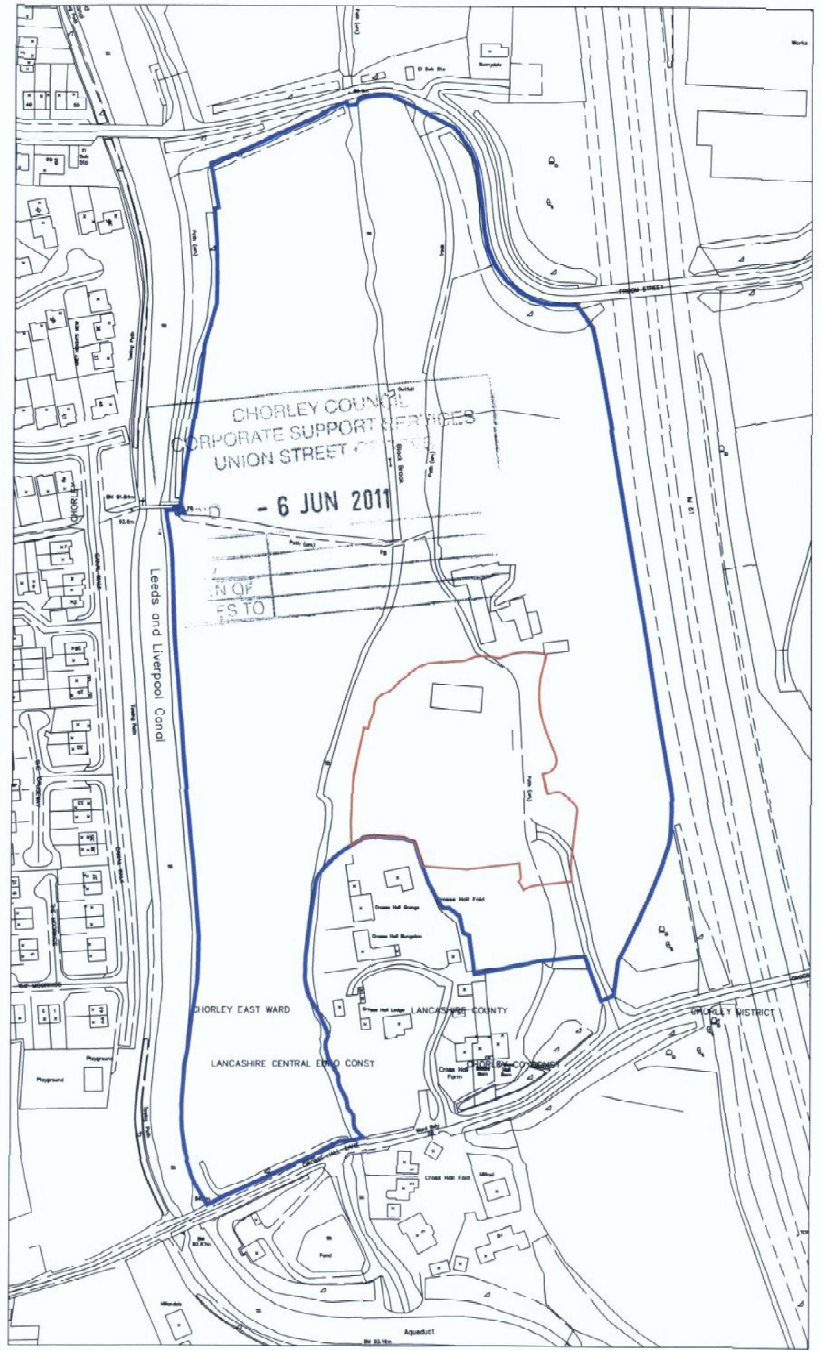
Morris Homes (North) Limited
18 The Parks
Newton-le-Willows
Merseyside WA12 0JQ
Tel: (01942) 272 020
Fax: (01942) 725 935

CROSSE HALL MILL FARM, CHORLEY

PLANNING LAYOUT 02

This page is intentionally left blank

11/494



LOCATION PLAN
1:2500

This page is intentionally left blank